

0 400' 800'

MISSOURI STATE PLANE GRID NORTH

BY GPS OBSERVATION

○ SET 1/2" IRON ROD

● FOUND 1/2" IRON ROD

— WIRE FENCE

— PROPERTY LINE

R/W RIGHT OF WAY

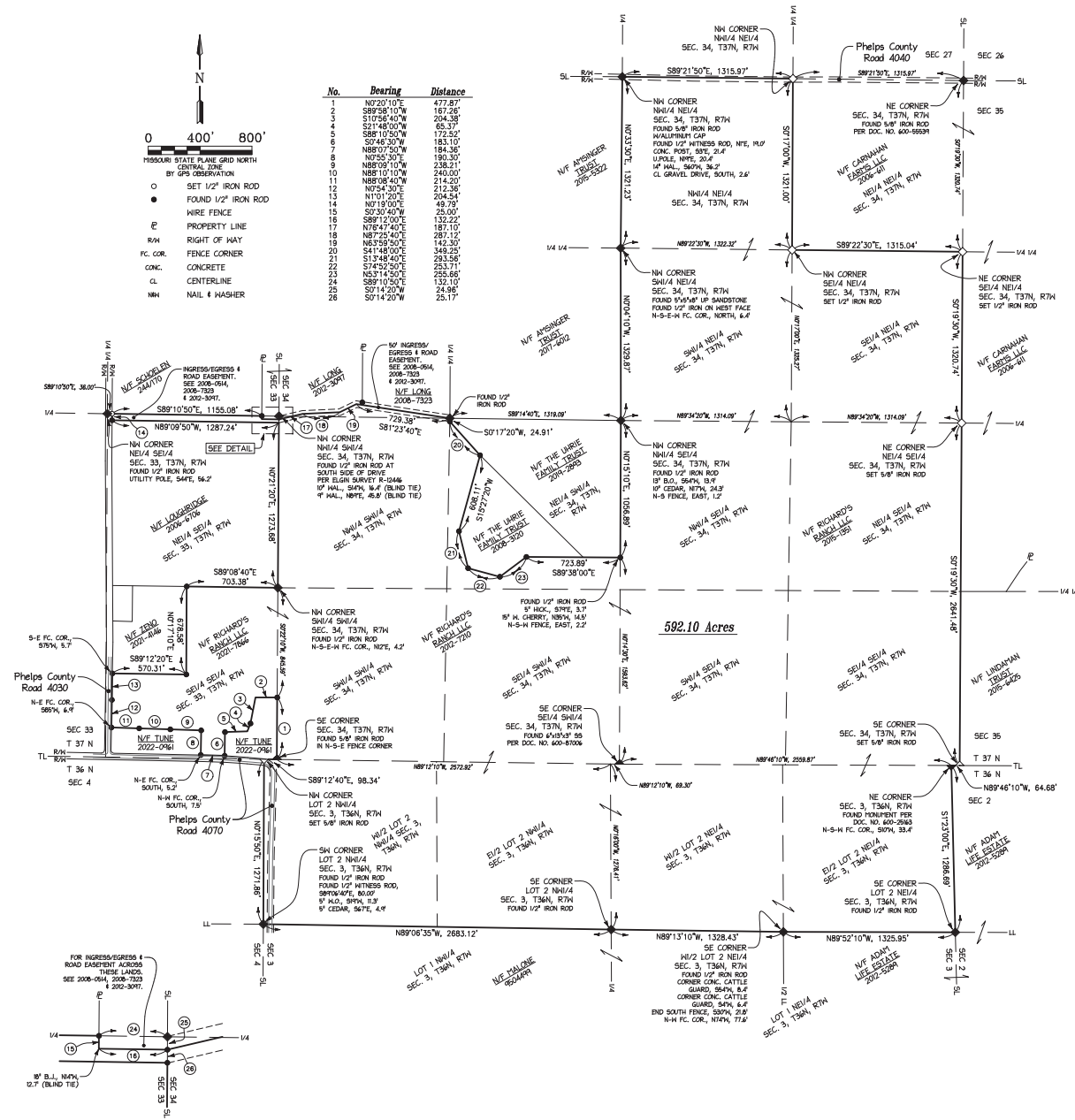
FC COR. FENCE CORNER

CONC. CONCRETE

CL CENTERLINE

NH NAIL & HASHER

No.	Bearing	Distance
1	N02°10'10"E	477.87'
2	S89°58'40"W	167.25'
3	S10°58'40"W	204.38'
4	S21°48'00"W	65.37'
5	S81°10'50"W	77.53'
6	S04°30'30"W	183.10'
7	N80°10'50"W	184.36'
8	N05°50'00"E	190.30'
9	N88°09'40"W	238.21'
10	N88°10'10"W	240.00'
11	N88°08'40"W	214.20'
12	N07°54'00"E	212.36'
13	N1°01'20"E	204.54'
14	N01°00'00"E	49.75'
15	S0°30'40"W	25.00'
16	S89°12'00"W	132.22'
17	N78°47'40"E	187.10'
18	N67°25'40"E	287.12'
19	N63°58'00"E	142.30'
20	S41°48'00"E	349.25'
21	S13°48'00"E	283.58'
22	S74°52'50"E	253.71'
23	N63°14'50"E	255.86'
24	S89°10'50"E	132.10'
25	S01°14'20"W	24.84'
26	S01°42'00"W	25.17'



Since the date of this survey, conditions beyond the knowledge or control of CM Archer Group, P.C. may have altered the validity of this survey and circumstances shown or noted hereon.

- NOTES:
1. Except as specifically stated or shown on this plat, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements, other than possible easements which were visible at the time of making of this survey, building setback lines, restrictive covenants, subdivision restrictions, zoning or other land-use regulations, and any other facts which an accurate and current title search may disclose.
 2. I declare that to the best of my professional knowledge and belief, this plat and survey meets the current "Missouri Standards for Property Boundary Surveys" (20 CSR 2030-16).
 3. Tract is classified Rural (20 CSR 2030-16-040).
 4. Date of field work: July, 2022 and August, 2023.
 5. Plat represents a survey of lands described at 2012-7210, 2015-1351 and 2021-7886.
 6. Dimensions shown are measured. For record dimensions, see document(s) noted.
 7. Only the record documents noted herein were provided to or discovered by surveyor. No abstract, current title commitment nor other record title documentation was provided surveyor.
 8. There are structures and improvements located on this tract which are not shown herein.



CM Archer Group, P.C. dba:
ARCHER-ELGIN
engineering • surveying • architecture
Archer Elgin Surveying & Engineering, L.L.C. 20110808A, L.L.C. 20110808A, A 20110808A
310 East 6th Street
Rolla, Missouri 65401
Phone: 636-364-6362
Fax: 636-364-4782
www.archer-elgin.com

Survey of Lot 2 NE1/4 & Lot 2 NW1/4, and Part of E1/2 SE1/4 Sec. 33 and Part of Sec. 34 all in T37N, R7W, Phelps County, Missouri
Richard & Judyann Krenning
13750 County Road 4030, Rolla, Missouri 65401

REVISIONS	DATE	BY	DESCRIPTION
1	Aug. 15, 2023	SFF	Final

DRAWN BY: HEP
CHECKED BY: SFF
SCALE: 1"=400'
DATE: Aug. 15, 2023
SURVEY NO.: J4541